

Perimeter Center Districts

Perimeter Center Outline Summary

The following provides the key maps and graphics for a set of optional parallel districts that would be included in the City's zoning and available for developers to choose in lieu of the existing zoning. These new districts have requirements associated with the district, shown on the district tables included in this summary document. Within each district, a set of building types are permitted as noted in the first few lines of each district table. On the pages following the district tables, permitted uses are defined by district on the Uses Table and regulations for each building type are outlined on tables, illustrated with a plan, section, and diagrammatic elevation.

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How To Use The Code

1

Locate parcel on
Regulating Map
to determine which district is designated

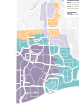
**27-104**

Figure 27-104-1

2

Review
District Requirements
to determine permitted Building Types, Uses, Height, and Site Coverage requirements

**27-104**

B. through E.

If the development is for a site where
New Streets
are shown, go to Streets & Blocks

**27-98.D**

Streets & Blocks

If the development is for a site that is
3 acres or greater in size
go to Open Space

**27-104.H**

Open Space

3

Review
Building Types
to choose a permitted building type and comply with associated requirements

**27-105**

Building Types

4

Locate parcel on
Frontage Types Map
for frontage type designation

**27-98.B**

Figure 27-98-1

5

Review
Frontage Requirements
to determine street buffer, sidewalk/trail, yard, parking, and building frontage

**27-98.B**

Perimeter Center Overlay

If the development is for a site where
New Trails
are shown, go to Trails

**27-98.A**

Trails

If the development
Borders a different district
(or single-family neighborhood as noted), go to Transitional Buffers

**27-98.C**

Transitional Buffers

6

Determine the applicable
Development Approval Process
to prepare all required application materials

27-103.CDevelopment
Approval Process

Figure 27-103-1 How to Use the Code

27-104 Districts

SECTIONS

- A. Establishment of Districts & Regulating Map
- B. PC-1 District
- C. PC-2 District
- D. PC-3 District
- E. PC-4 District
- F. Uses
- G. Measuring Height
- H. Open Space.



B. PC-1 District

Requirements for this district are provided in [Figure 27-104-2 PC-1 District Requirements](#).

1. Description & Intent. The PC-1 District is intended to apply to the central core area of Perimeter Center, including the area directly surrounding the Dunwoody MARTA train station. This district allows for the highest intensity of buildings, a high level of employment uses, and active ground story uses and design that support pedestrian mobility.

PC-1 DISTRICT REQUIREMENTS			Reference
BUILDING TYPES	Shopfront	● Minimum 60% of all Primary Streets shall be fronted with Shopfronts	27-105 Building Types
	General	●	
	Townhouse		
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	For all developments over 3 acres in size, a minimum of 2 use categories shall be accommodated.	27-104.F Uses
HEIGHT	Minimum	3 stories	27-105.B floor-to-floor heights per Building Type; 27-105.B.3 Tall Building Design
	Maximum	35 stories	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum Block Perimeter	Recommended 1800 feet; Maximum 2500 feet	27-98.D Streets & Blocks
	Boulevard	●	27-98.D.9 Specific Street Types
	Connector	●	
	Lane		
SITE COVERAGE	Maximum Impervious Cover	80 percent	27-103.E Definitions
	Maximum Impervious plus Semi-Pervious Cover	95 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one permitted Open Space Type is required within 1/8 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than 2 of any one type may be utilized on one development site.		
	Plaza	●	27-104.H Open Space
	Green	●	
	Commons	● Permitted but shall not be used to meet open space requirement.	
	Park	●	

● = permitted

Figure 27-104-2 PC-1 District Requirements

C. PC-2 District

Requirements for this district are provided in [Figure 27-104-3 PC-2 District Requirements](#).

1. Description & Intent. The PC-2 District is made up primarily of employment uses [, **residential buildings**,] and limited shopfront retail and services.

PC-2 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront	● Permitted on Primary Street Frontages only	27-105 Building Types
	General	●	
	Townhouse	●	
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story; single story buildings shall be a minimum of 18 feet in height.	27-105.B floor-to-floor heights per Building Type; 27-105.B.3 Tall Building Design
	Maximum	14 stories; within 500 feet of single-family residences, heights limited to 6 stories (see Overlay requirements for transitional buffers 27-98.B)	
	Stepbacks	Above the 6th story, the upper stories of any building facade with street frontage shall have a step back from the lower stories that is a minimum of 6 feet and a maximum of 12 feet deep.	
STREETS & BLOCKS	New Streets	Required per map	Figure 27-104-1
	Maximum block perimeter	Recommended 2000 feet; Maximum 2500 feet	27-98.D Streets & Blocks
	Boulevard	●	27-98.D.9 Specific Street Types
	Connector	●	
	Lane		
SITE COVERAGE	Maximum Impervious Cover	65 percent	27-103.E Definitions
	Maximum Impervious + Semi-Pervious Cover	75 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/4 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than two of any one type may be utilized on one development site.		
	Plaza	●	27-104.H Open Space
	Green	●	
	Commons	●	
	Park	●	

● = permitted

Figure 27-104-3 PC-2 District Requirements

D. PC-3 District

Requirements for this district are provided in [Figure 27-104-4 PC-3 District Requirements](#).

1. Description & Intent. The PC-3 District is a smaller scale less intensive commercial district, permitting both shopfront buildings and office buildings.

PC-3 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront	● Minimum 80% of all Primary Streets frontages shall be fronted with Shopfronts	27-105 Building Types
	General	●	
	Townhouse	●	
	Yard House		
	Civic	●	
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story; minimum 18 to 24 feet	27-105.B floor-to-floor heights per Building Type; 27-105.B.3 Tall Building Design
	Maximum	3 stories; heights up to 6 stories are permitted for no more than 50 percent of the building footprint. Height shall not exceed 3 stories within 500 feet of single-family residences	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Maximum 2500 feet	27-98.D Streets & Blocks
	Boulevard	●	27-98.D.9 Specific Street Types
	Connector	●	
	Lane		
SITE COVERAGE	Maximum Impervious Cover	75 percent	27-103.E Definitions
	Maximum Impervious plus Semi-Pervious Cover	85 percent	
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/4 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than two of any one type may be utilized on one development site.		
	Plaza	●	27-104.H Open Space
	Green	●	
	Commons	● Permitted but shall not be used to meet open space requirement.	
	Park	●	

● = permitted

Figure 27-104-4 PC-3 District Requirements

E. PC-4 District

Requirements for this district are provided in [Figure 27-104-5 PC-4 District Requirements](#).

1. Description & Intent. The PC-4 District is made up primarily of residential uses at a scale that provides a transition between the intensity of Perimeter Center and the surrounding single-family residential neighborhoods.

PC-4 DISTRICT REQUIREMENTS			Reference
PERMITTED BUILDING TYPES	Shopfront		
	General	●	
	Townhouse	●	27-105 Building Types
	Yard House	●	
	Civic		
USE MIX	Minimum Mix of Uses	No mix required	27-104.F Uses
HEIGHT	Minimum	1 story	27-105.B floor-to-floor heights per Building Type
	Maximum	4 stories	
STREETS & BLOCKS	Street Configurations	Required per map	Figure 27-104-1
	Maximum block perimeter	Maximum 2200 feet	27-98.D Streets & Blocks
	Boulevard		
	Connector	●	27-98.D.9 Specific Street Types
	Lane	●	
SITE COVERAGE	Maximum Impervious Cover	60 percent	
	Maximum Impervious plus Semi-Pervious Cover	70 percent	27-103.E Definitions
OPEN SPACE REQUIREMENTS	For all developments 3 acres or larger, one Open Space Type is required within 1/8 of a mile of the principal entrance(s) to each building.		
	When multiple open spaces are required, no more than two of any one type may be utilized on one development site.		
	Plaza		27-104.H Open Space
	Green	●	
	Commons	●	
	Park	●	

● = permitted

Figure 27-104-5 PC-4 District Requirements

USES	DISTRICTS				
	PC-1	PC-2	PC-3	PC-4	Reference
RESIDENTIAL					
Household Living					
Detached house	—	—	—	S	
Attached house	—	P	P	P	
Multi-unit building	—	S	S	—	
Mixed-use building, vertical	P	P	P	—	
Group Living	—	S	S	S	
QUASI-PUBLIC & INSTITUTIONAL					
Ambulance Service	S	S	S	S	
Club or Lodge, Private	P	P	P	—	
Cultural Exhibit	P	P	P	P	
Day Care	P	P	P	P	
Educational Services	S	S	S	S	
Hospital	S	S	S	—	
Place of Worship	P	P	P	P	27-146
Utility Facility, Essential	P	P	P	E	27-151
COMMERCIAL					
Animal Services	P	P	S	—	27-131
Communication Services					
Telecommunication tower mounted on building	A	A	A	A	27-150
All other	P	P	P	P	
Standalone tower	S	S	S	S	
Construction and Building Sales and Services	P	P	P	—	
Eating and Drinking Establishments					
Restaurant, drive-in or drive-through (currently permitted in PC-1 District and PC-3 District)	P	—	P	—	27-98.D.XX
Food truck	P	P	P	—	27-138
Other eating or drinking establishment	P	P	P	—	

USES	DISTRICTS				
	PC-1	PC-2	PC-3	PC-4	Reference
Entertainment and Spectator Sports					
Indoor	P	P	P	—	
Outdoor	S	S	S	—	
Financial Services					
Banks, credit unions, brokerage and investment services	P	P	P	—	
Food and Beverage Retail Sales	P	P	P	—	
Funeral and Interment Services	P	P	P	—	
Lodging	P	P	P	S	
Medical Service	P	P	P	—	
Office or Consumer Service	P	P	P	—	
Parking, Non-accessory	S	S	S	S	ADD NEW REGS
Personal Improvement Service	P	P	P	—	
Repair or Laundry Service, Consumer	P	P	P	—	
Research and Testing Services	P	P	P	—	
Retail Sales	P	P	P	—	
Sports and Recreation, Participant					
Indoor	P	P	P	—	
Outdoor	S	S	S	—	
Vehicle and Equipment, Sales and Service					
Gasoline sales	—	—	S	—	Figure 27-105-24
Vehicle sales and rental (Indoor only)	P	P	P	—	27-154
Vehicle repair, minor	—	—	S	—	27-153

P = use permitted as of right
A = special administrative permit required
E = special exception required
S = special land use permit required

definition in existing code says "motor vehicles", so bike rental should not be included.

Figure 27-104-6 Table of Permitted Uses

27-105 Building Types

SECTIONS

- A. General Requirements
- B. Regulations Specific to Building Types
- C. Definition of Specific Building Type Standards

a. Shopfront Building Regulations.

	PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT	
BUILDING SITING REFER TO FIGURES 27-105-27 SHOP FRONT PLAN				
Primary Street Frontage				
1	Minimum Build-to Zone Coverage	90%	80%	80%
2	Build-to Zone	0' to 10'	0' to 15'	0' to 15'
3	Parking along Frontage	one double-loaded aisle, perpendicular to street per 27-105.B(1)(c)i	permitted (refer to 27-105.A.6 for buildings required on corners)	
Parkway Street Frontage				
4	Minimum Build-to Zone Coverage	60%	30%	30%
5	Build-to Zone	0' to 15'	0' to 15'	0' to 15'
6	Parking along Frontage	permitted (refer to 27-105.A.6 for buildings required on corners)		
Secondary Street Frontage				
7	Minimum Build-to Zone Coverage	30%	none required	none required
8	Build-to Zone	0' to 30'	0' to 50'	0' to 50'
9	Parking along Frontage	permitted	permitted	permitted
FLOOR TO FLOOR HEIGHT REFER TO FIGURE 27-105-28 SHOP FRONT - SECTION & ELEVATION				
10	Ground Story: Minimum Height Maximum Height	14' 30' ¹	14' 30' ¹	14' 24' ¹
11	Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'
12	Ground Story Elevation	0' to 1' above adjacent sidewalk; visible basement not permitted (refer to 27-XXX Design Standards for stepping facades at sloped sidewalks)		
USES				
13	Ground Story	any retail subcategory, service subcategory, lobbies for lodging (refer to 27-104.E Uses) permitted in the district		
14	Upper Story	any use permitted in the district		
15	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
16	Required Occupied Space	30' deep on all ground and upper from any Primary Street [and Parkway?] facade		
STREET FACADE DESIGN REQUIREMENTS REFER TO FIGURE 27-105-28 SHOP FRONT - SECTION & ELEVATION				
17	Ground Story Fenestration Measured between 2' and 10' above grade	75% minimum	60% minimum	60% minimum
18	Entry Area	recessed between 3' and 8' from the facade closest to the street		
18	Entrance Elevation	within 2' of average grade at the sidewalk		
18	Required Number of Primary Street Entrances	1 per each 75' width of front facade		
19	Vertical Facade Divisions	every 30' of facade width		
20	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor		

Notes

³ If 18 feet or more in height, ground story shall count as 2 stories towards maximum building height.

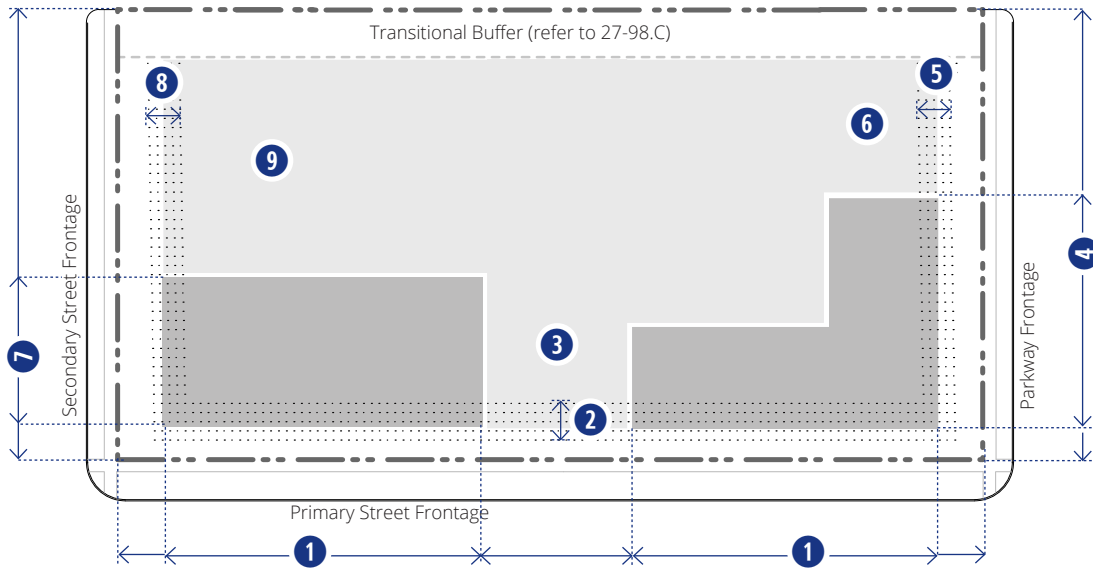


Figure 27-105-5 Shopfront Building – Plan

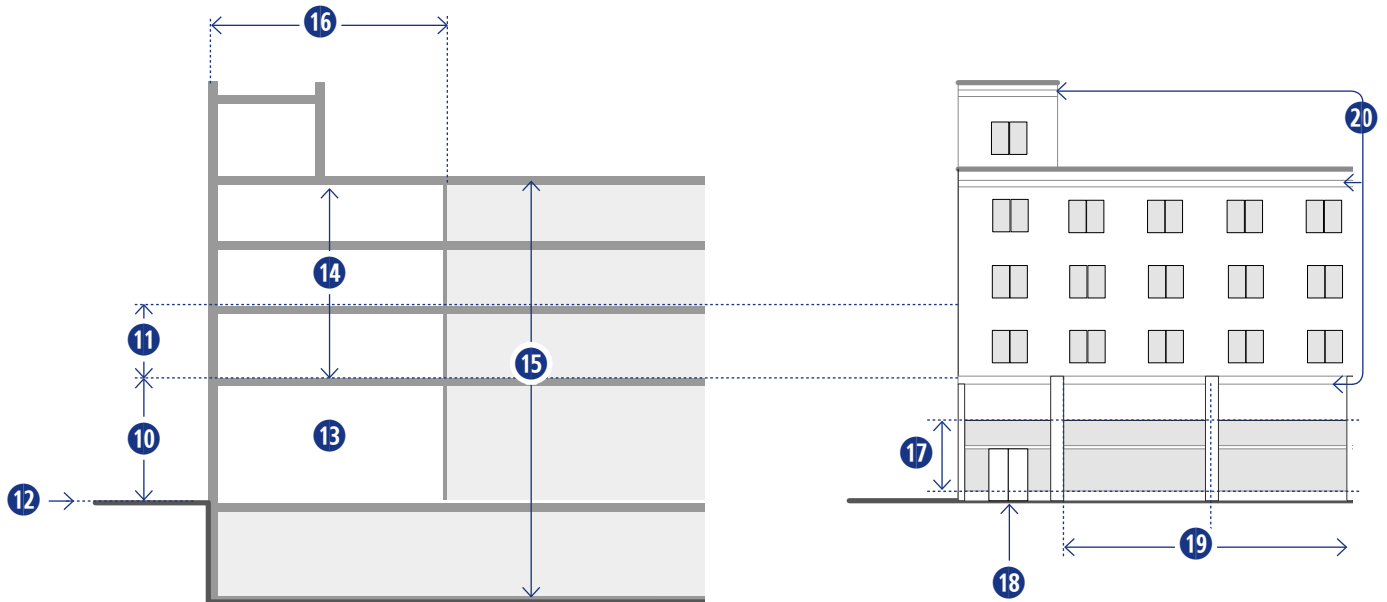


Figure 27-105-6 Shop Front – Section & Elevation

27-105 Building Types

Regulations Specific to Building Types

DRAFT

b. General Building Regulations.

		PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT	PC-4 DISTRICT
BUILDING SITING REFER TO FIGURE 27-105-29 GENERAL BUILDING - PLAN					
Primary Street Frontage					
1	Minimum Build-to Zone Coverage	80%	50%	60%	60%
2	Build-to Zone	5' to 20'	10' to 30'	5' to 15'	15' to 30'
3	Parking along Frontage	one double-loaded aisle, perpendicular to street per 27-105.B(1)(c)i	permitted (refer to 27-105.A.6 for buildings required on corners)		not permitted
Parkway Street Frontage					
4	Minimum Build-to Zone Coverage	60%	50%	50%	50%
5	Build-to Zone	5' to 20'	10' to 30'	15' to 50'	15' to 30'
6	Parking along Frontage	permitted (refer to 27-105.A.6 for buildings required on corners)			
Secondary Street Frontage					
7	Minimum Build-to Zone Coverage	30%	none required		
8	Build-to Zone	10' to 50'	10' to 50'	15' to 50'	15' to 50'
9	Parking along Frontage	permitted	permitted	permitted	permitted
FLOOR TO FLOOR HEIGHT REFER TO FIGURE 27-105-30 GENERAL BUILDING - SECTION & ELEVATION					
10	Ground Story: Minimum Height Maximum Height	14' 30' ¹	14' 24' ¹	14' 24' ¹	10' 18' ¹
11	Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'	9' 14'
12	Ground Story Elevation	maximum of 2'-6" above the sidewalk without visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.			
USES					
13	Ground Story	office category; retail sales and service uses limited to 25% of gross ground floor area			any permitted use
14	Upper Story	any permitted use			any permitted use
15	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade			
16	Required Occupied Space	30' deep on all ground and upper from any Primary Street [and Parkway?] facade			
STREET FACADE DESIGN REQUIREMENTS REFER TO FIGURE 27-105-30 GENERAL BUILDING - SECTION & ELEVATION					
17	Ground Story Fenestration Measured between 2' and 10' above grade	20% minimum	20% minimum	20% minimum	20% minimum
18	Entry Area	recessed minimum 3' from the facade closest to the street			
18	Entrance Elevation	maximum of 2'-6" above the sidewalk without visible basement; maximum of 4'-6" above the sidewalk with a visible basement.			
18	Required Number of Primary Street Entrances	1 per each 150' of front facade			
19	Vertical Facade Divisions	every 150' of facade width			
20	Horizontal Facade Divisions	required within 3' of the top of the ground story, the top of the visible basement, and any 5th floor above the 1st floor			

Notes

¹ If 18 feet or more in height, ground story shall count as two stories towards maximum building height.

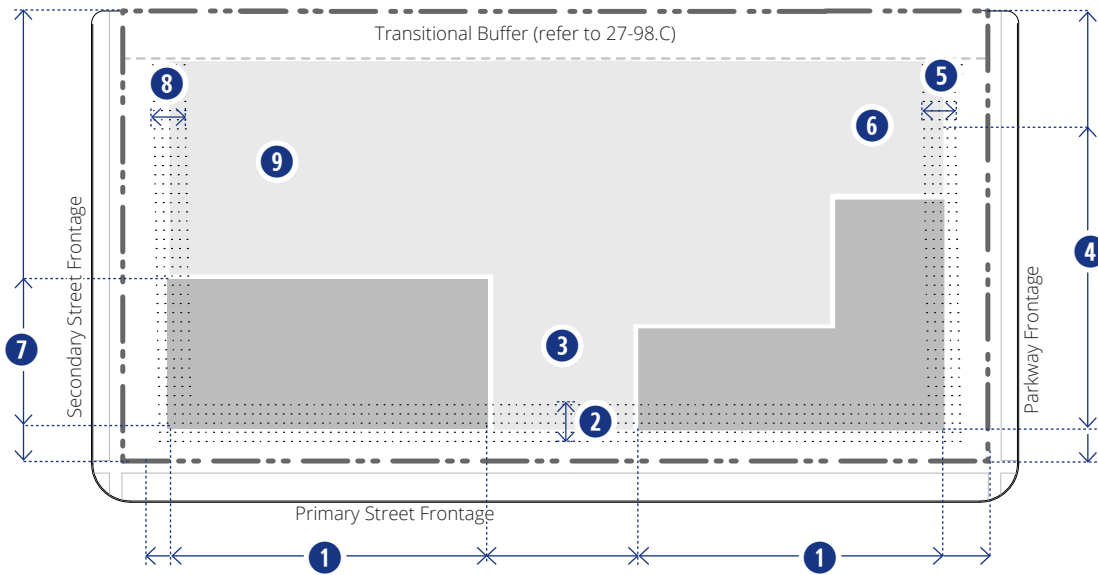


Figure 27-105-7 General Building – Plan

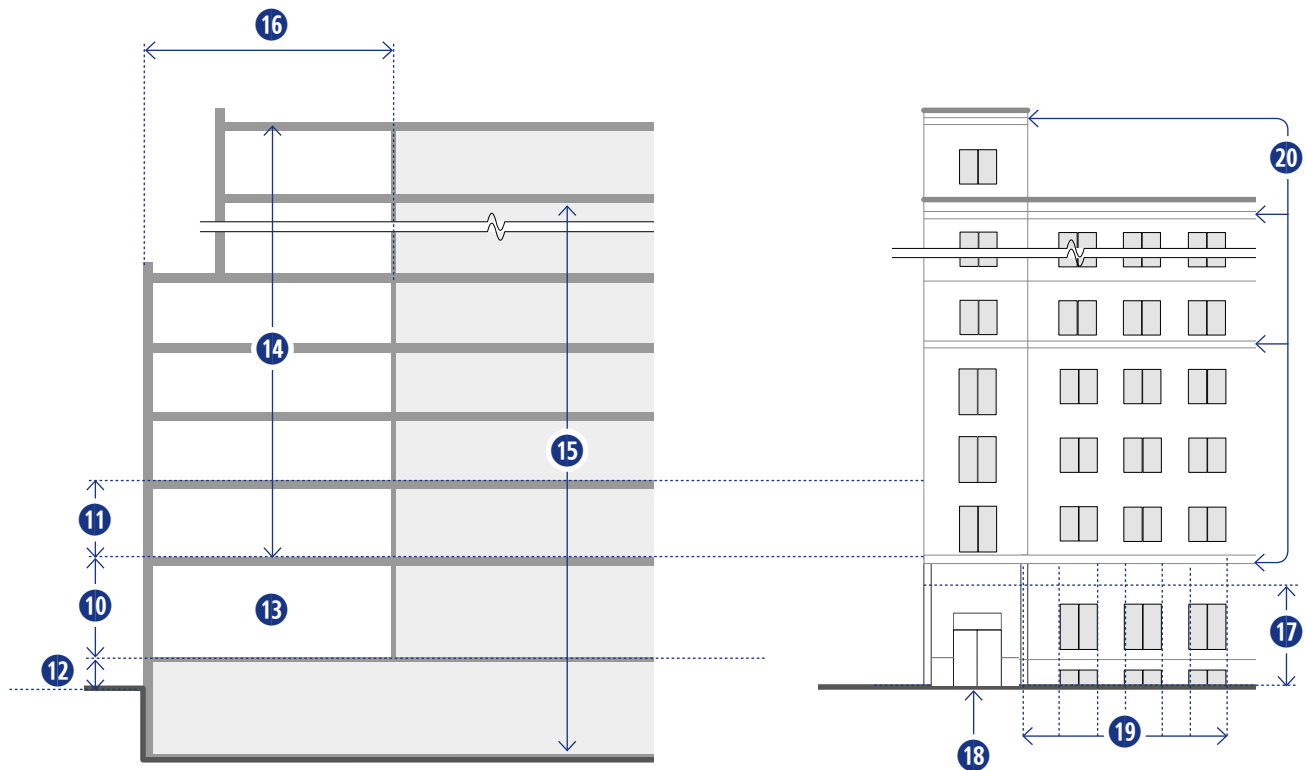


Figure 27-105-8 General Building – Section & Elevation

c. Townhouse Building Regulations.

		PC-2 DISTRICT	PC-3 DISTRICT	PC-4 DISTRICT
BUILDING SITING ¹ REFER TO FIGURE 27-105-32 TOWNHOUSE BUILDING PLANS				
Primary Street Frontage				
1	Minimum Build-to Zone Coverage ²	65%	65%	65%
2	Build-to Zone ²	10' to 30'	15' to 30'	15' to 30'
3	Parking along Frontage	not permitted	not permitted	not permitted
Parkway Street Frontage				
4	Minimum Build-to Zone Coverage ²	50%	50%	50%
5	Build-to Zone ²	25' to 50'	25' to 50'	25' to 50'
6	Parking along Frontage	permitted		
Secondary Street Frontage				
Minimum Build-to Zone Coverage		none required		
Setback		15'	15'	15'
Parking along Frontage		permitted		
FLOOR TO FLOOR HEIGHT ³ REFER TO FIGURE 27-105-33 TOWNHOUSE BUILDING SECTION & ELEVATION				
7	Ground Story: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'
8	Upper Stories: Minimum Height Maximum Height	9' 14'	9' 14'	9' 14'
9	Ground Story Elevation	maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.		
USES				
10	All Stories	attached house only (allow live-work units?)		attached house only
11	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
12	Required Occupied Space	30' deep on all ground and upper from any Primary Street [and Parkway?] facade		
STREET & COURTYARD FACADE DESIGN REQUIREMENTS REFER TO FIGURE 27-105-33 TOWNHOUSE BUILDING SECTION & ELEVATION				
13	Ground Story Fenestration	15%	15%	15%
14	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103 Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.		
14	Entrance Elevation	maximum of 2'-6" above the sidewalk without visible basement; maximum of 4'-6" above the sidewalk with a visible basement.		
14	Required Number of Street Entrances	1 per unit ²	1 per unit ²	1 per unit ²
15	Vertical Facade Divisions	every 30' of facade width		
16	Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor		

Notes

¹ For the purposes of the Townhouse building, a building consists of multiple units; minimum of 3 and maximum of 8 units.

² Each unit shall have a facade fully located in a street build-to zone, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.

³ A Townhouse building shall be a minimum of 2 stories and a maximum of 4 stories, independent of the district requirements.

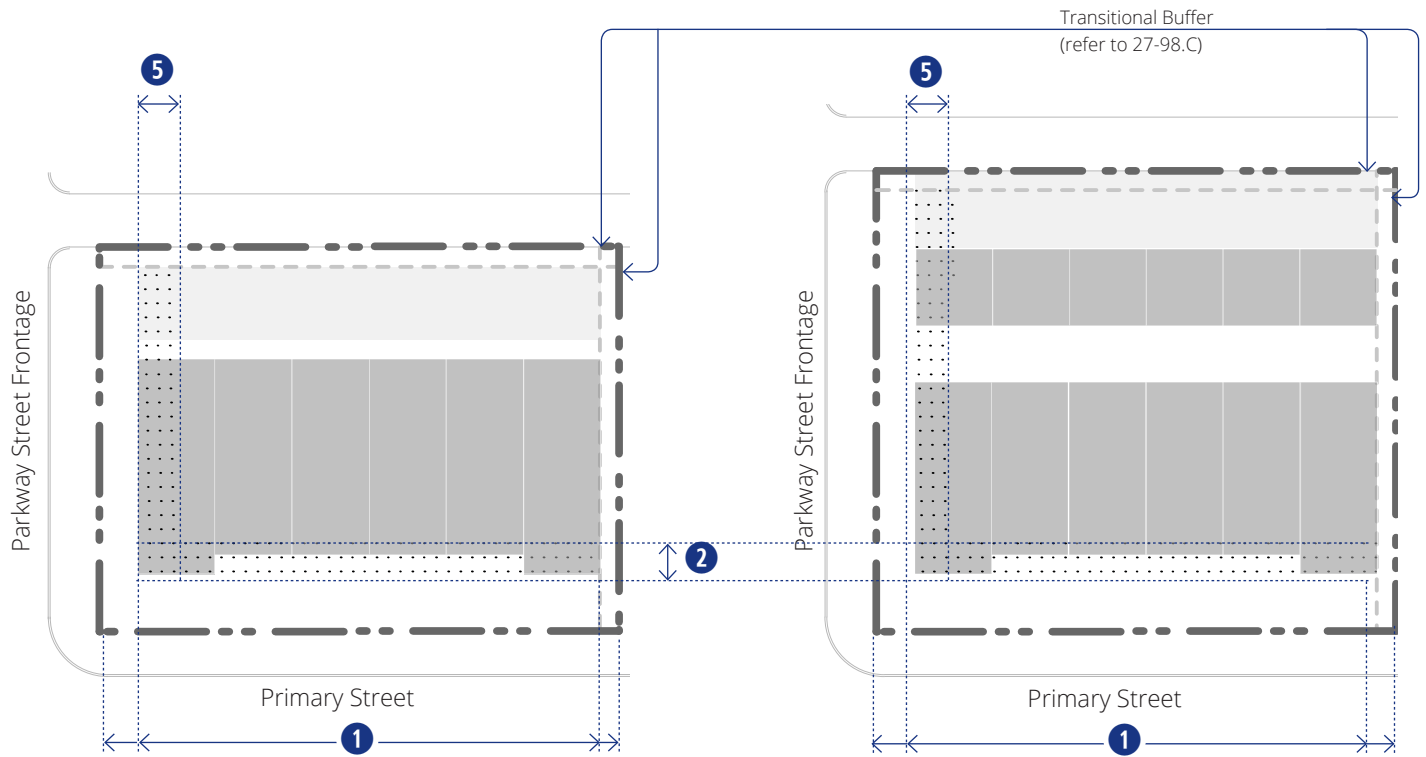


Figure 27-105-9 Townhouse Building – Plans

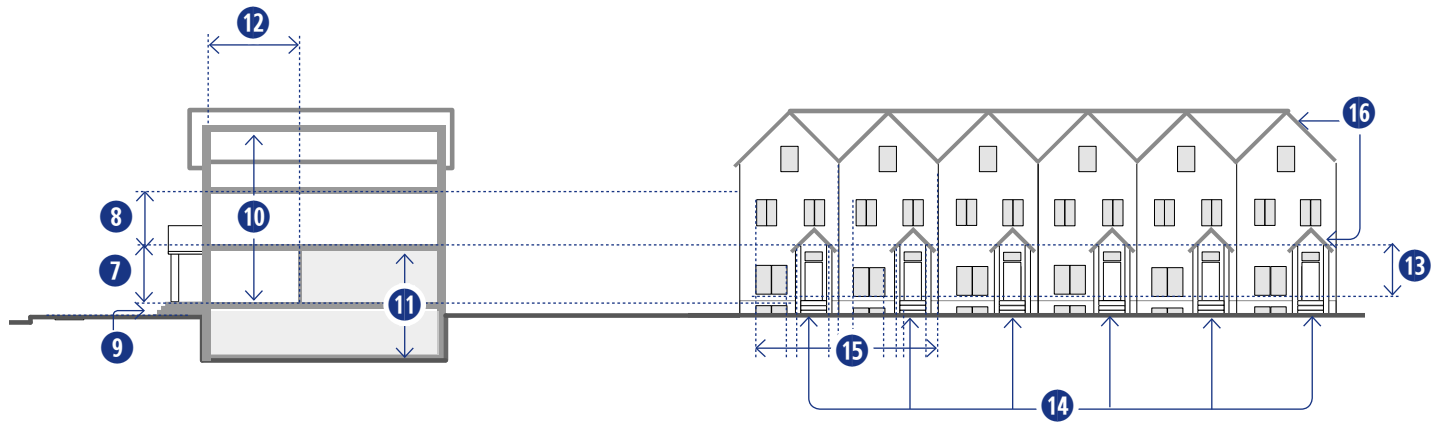


Figure 27-105-10 Townhouse Building – Section & Elevation

d. Yard House Building Regulations.

PC-4 DISTRICT	
BUILDING SITING REFER TO FIGURE 27-105-33 YARDHOUSE BUILDING - PLAN	
Primary Street Frontage	
1 Minimum Build-to Zone Coverage ¹	65%
2 Build-to Zone ¹	15' to 30'
3 Parking along Frontage	not permitted
Parkway Street Frontage	
4 Minimum Build-to Zone Coverage ¹	50%
5 Build-to Zone ¹	25' to 50'
Parking along Frontage	permitted
Secondary Street Frontage	
Minimum Build-to Zone Coverage	none required
Setback	15'
Parking along Frontage	permitted
FLOOR TO FLOOR HEIGHT REFER TO FIGURE 27-105-33 YARDHOUSE BUILDING - SECTION & ELEVATION	
6 Ground Story: Minimum Height Maximum Height	9' 14'
7 Upper Stories: Minimum Height Maximum Height	9' 14'
8 Ground Story Elevation	maximum of 2'-6" above the sidewalk without a visible basement and a maximum of 4'-6" above the sidewalk with a visible basement.
USES	
9 All Stories	household living
10 Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade
11 Required Occupied Space	30' deep on all ground and upper from any Primary Street [and Parkway?] facade
STREET FACADE DESIGN REQUIREMENTS REFER TO FIGURE 27-105-33 YARDHOUSE BUILDING - SECTION & ELEVATION	
12 Ground Story Fenestration	15% minimum
13 Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103 Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.
13 Entrance Elevation	maximum of 2'-6" above the sidewalk without visible basement; maximum of 4'-6" above the sidewalk with a visible basement.
13 Required Number of Street Entrances	1 per unit ¹
14 Vertical Facade Divisions	every 30' of facade width
15 Horizontal Facade Divisions	required within 3' of the top of the ground story, and every 5th floor above the 1st floor

Notes

¹ Each building shall have a facade fully located in a street build-to zone, except one of every five units may front a courtyard with a minimum width of 30 feet. The courtyard shall be defined on three sides by units.

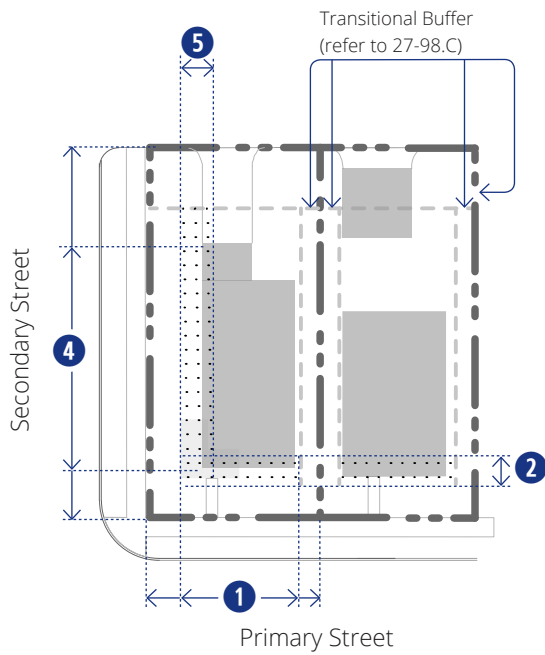


Figure 27-105-11 Yardhouse Building – Plan

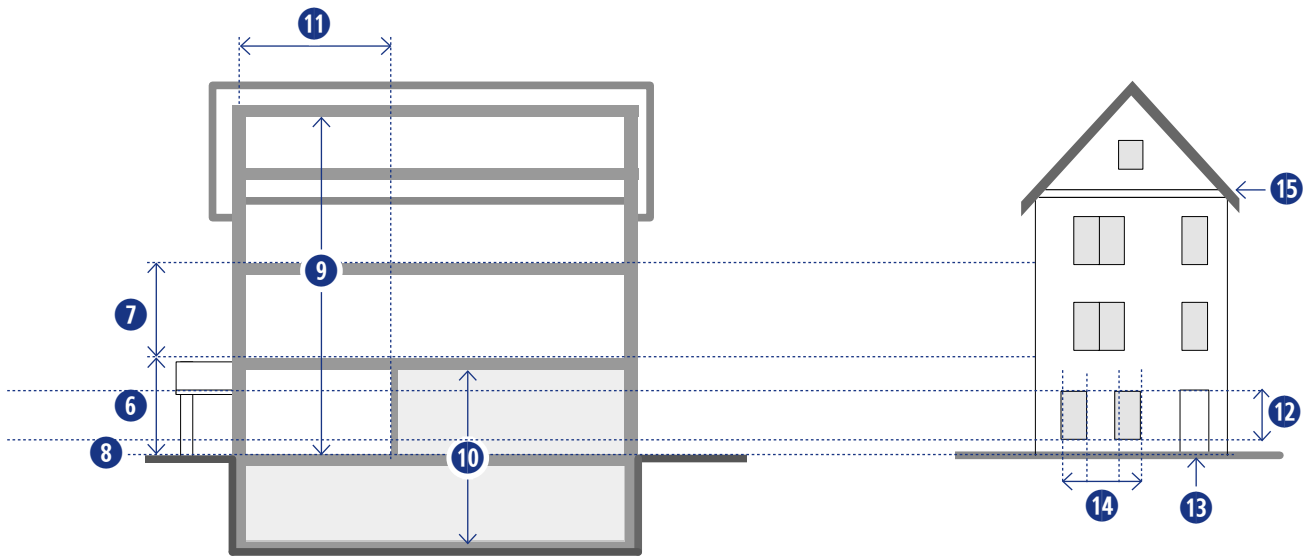


Figure 27-105-12 Yardhouse Building – Section & Elevation

e. Civic Building Regulations.

		PC-1 DISTRICT	PC-2 DISTRICT	PC-3 DISTRICT
BUILDING SITING REFER TO FIGURE 27-105-35 CIVIC BUILDING - PLAN				
Primary Street Frontage				
1	Minimum Build-to Zone Coverage	n/a		
2	Setback	15'		
3	Parking along Frontage	one double-loaded aisle, perpendicular to street**		
Parkway Street Frontage				
	Minimum Build-to Zone Coverage	n/a		
	Setback	15'		
	Parking along Frontage	Permitted		
Secondary Street Frontage				
4	Minimum Build-to Zone Coverage	n/a		
5	Setback	15'		
6	Parking along Frontage	Permitted		
FLOOR TO FLOOR HEIGHT REFER TO FIGURE 27-105-36 CIVIC BUILDING - SECTION & ELEVATION				
7	Ground Story: Minimum Height Maximum Height	14' 30'		
8	Upper Stories: Minimum Height Maximum Height	9' 14'		
USES				
9	All Stories	Limited to civic subcategory of uses		
10	Parking within Building	permitted fully in any basement and in rear of ground and upper floors; entrance to parking should be off an interior facade		
11	Required Occupied Space	30' deep on all ground and upper from any Primary Street [and Parkway?] facade		
STREET FACADE DESIGN REQUIREMENTS REFER TO FIGURE 27-105-36 CIVIC BUILDING - SECTION & ELEVATION				
12	Ground Story Fenestration	20% minimum		
13	Entry Area	Entrance shall be off a stoop or a porch. Refer to 27-103 Definitions. The porch shall be a minimum of 5 feet deep and 8 feet wide. The stoop shall be a minimum of 3 feet deep and 5 feet wide.		
14	Entrance Elevation	maximum of 2'-6" above the sidewalk without visible basement; maximum of 4'-6" above the sidewalk with a visible basement.		
13	Required Number of Primary Street Entrances	one		
15	Vertical Facade Divisions	none required		
16	Horizontal Facade Divisions	none required		

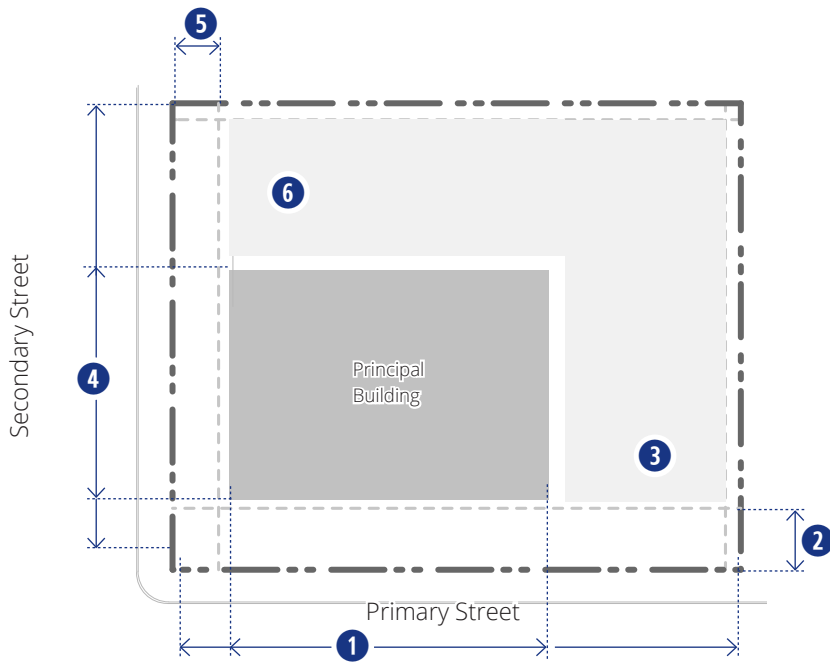


Figure 27-105-13 Civic Building – Plan

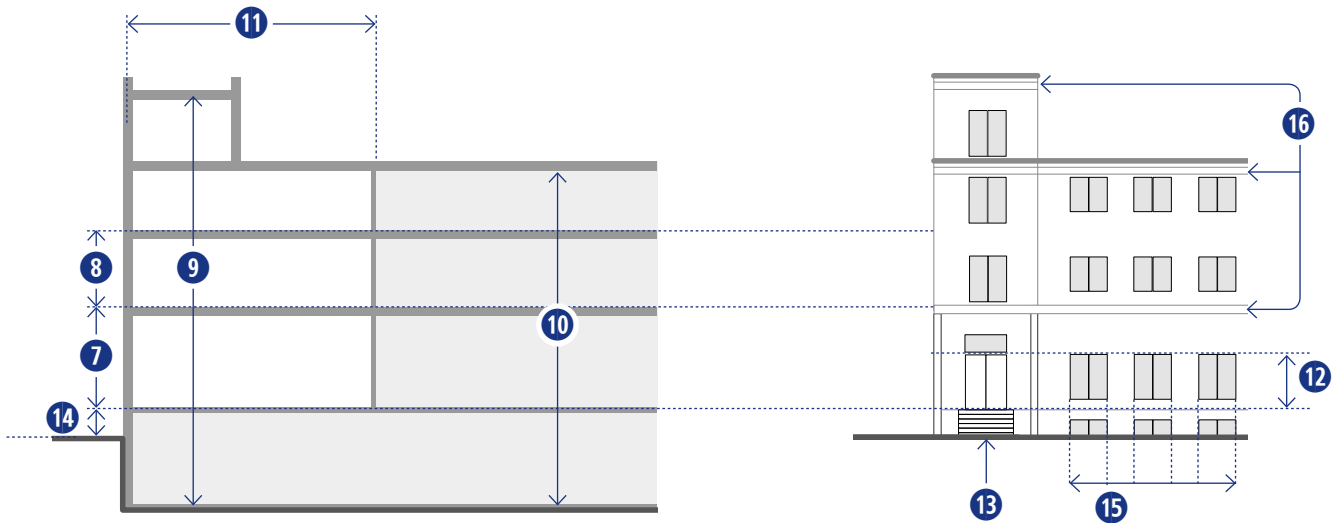


Figure 27-105-14 Civic Building – Section & Elevation